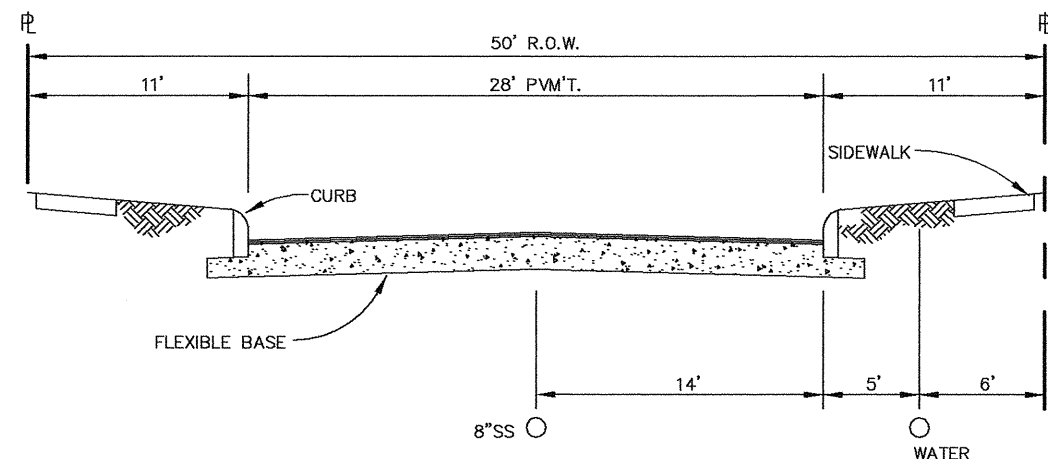
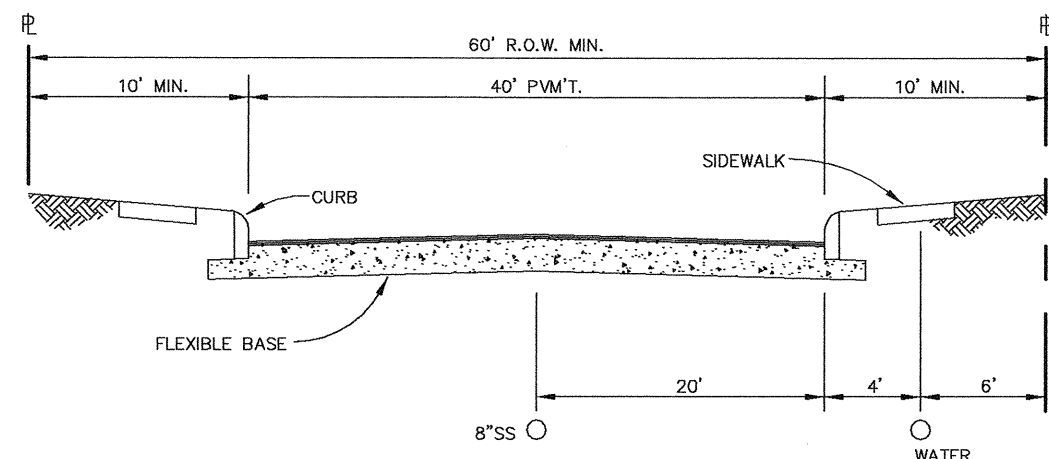


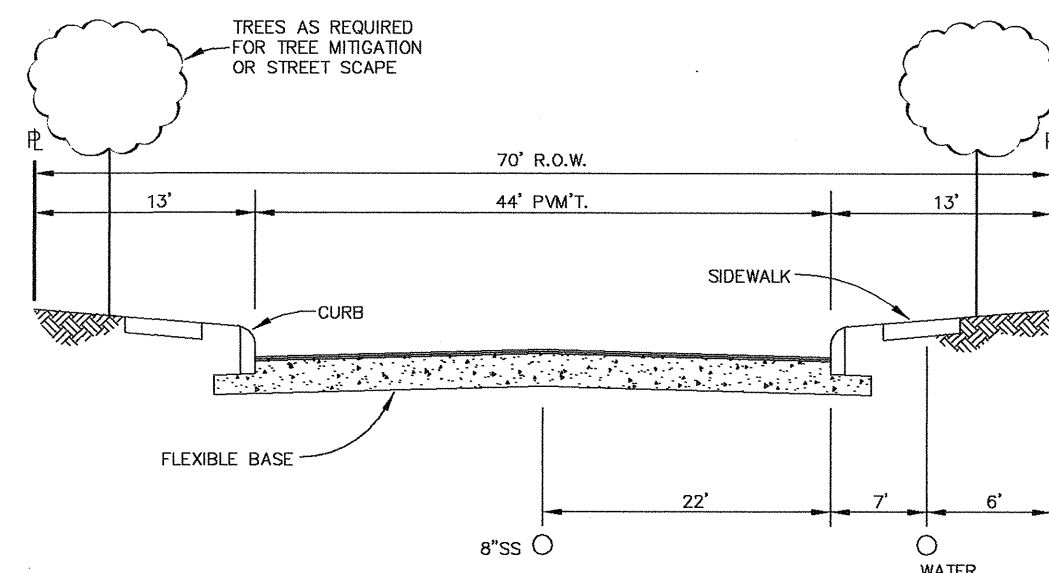
LOCATION MAP



LOCAL "A"
NOT TO SCALE



LOCAL "B"
NOT TO SCALE



COLLECTOR
NOT TO SCALE

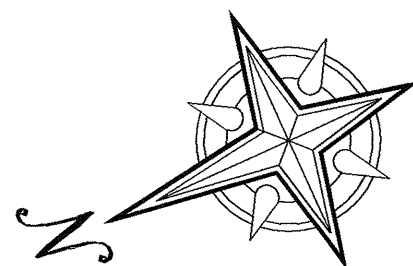
PLAN HAS BEEN ACCEPTED BY
COSA
1-13-04 773
(date) (number)
If no plans are filed, plan will expire
On 7-19-05
1st plat filed on

LEGEND

- PHASE LINE
- PHASE NUMBER
- EXISTING 100 YEAR FLOOD LINE
- EXISTING CONTOUR

NOTES

- WATER SERVICE TO BE PROVIDED BY SAWS
- SANITARY SEWER SERVICE TO BE PROVIDED BY SAWS
- GAS (IF AVAILABLE) AND ELECTRIC TO BE PROVIDED BY CPS
- TELEPHONE SERVICE TO BE PROVIDED BY SBC TELEPHONE
- CABLE T.V. SERVICE TO BE PROVIDED BY TIME/WARNER CABLE
- ALL STREETS ARE LOCAL "A" UNLESS OTHERWISE SHOWN
- INDIVIDUAL LOT DIMENSIONS WILL BE SHOWN ON SUBDIVISION PLAT
- ALL LAND USE IS DETACHED SINGLE FAMILY RESIDENTIAL
- THIS DEVELOPMENT WILL BE COMPLETED IN FOUR PHASES
- THIS DEVELOPMENT IS IN THE NORTHSIDE INDEPENDENT SCHOOL DISTRICT
- DETAILED DRAINAGE ANALYSIS WILL BE COMPLETED WITH SUBDIVISION PLATS
- DEVELOPER WILL DEDICATE 2.927 ACRES FOR PARK AND PAY PARK FEE FOR REMAINING REQUIREMENT AS PER UDC ARTICLE V.
- BEARING REFERENCE SOURCE IS N24°22'29"E SHOWN ON A EASTERN BOUNDARY LINE OF THE 170.95 ACRE TRACT RECORDED IN VOLUME 6628, PAGE 1542 REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS.
- SIDEWALKS TO BE CONSTRUCTED IN CONJUNCTION WITH HOME CONSTRUCTION ON LOCAL "A" STREETS.
- ALL PROPERTY WITHIN THE BOUNDARY OF THIS MDP IS LOCATED IN CITY OF SAN ANTONIO ETJ.
- DEVELOPER WILL COMPLY WITH ORDINANCE CONCERNING TREES, WHICH WILL BE DEFERRED UNTIL ASSOCIATED SUBDIVISION PLAT IS FILED. ALL HERITAGE TREES HAVE BEEN FIELD LOCATED AND ARE SHOWN HEREON.
- TYPICAL RADII FOR KNUCKLE SAC AND CUL DE SAC WILL BE 51' AT THE PROPERTY LINE.
- COORDINATES SHOWN ARE BASED ON NAD83 TEXAS STATE PLANE SOUTH CENTRAL ZONE, TXDOT REGIONAL REFERENCE POINT - PID No. AY2157
- PARK DEDICATION WILL COMPLY WITH SECTION 35-503(F)(2).



GRAPHIC SCALE

"CLEAR VISION EASEMENT" AS NEEDED
"CLEAR VISION EASEMENT" (DEFINED AS THE AREA BETWEEN THE CLEAR VISION LINE AND THE STREET RIGHT-OF-WAY); NO PERMANENT STRUCTURES ABOVE 6" IN HEIGHT, INCLUDING FENCES AND LANDSCAPING, SHALL BE CONSTRUCTED WITHIN THE CLEAR VISION EASEMENT.

CONNECTIVITY INDEX

48 LINKS
37 NODES
48/37 = 1.30 CONNECTIVITY RATIO

CURVE TABLE				
CURVE	DELTA	RADIUS	TANGENT	CHORD
C1	36°06'25"	400.00'	130.38'	252.07'
C2	35°58'07"	400.00'	129.85'	251.11'

APPROXIMATE ACREAGE & LOT SUMMARY			
UNIT #	LOTS	LOT SIZE	ACRES
UNIT 1	57	45'X120'/50'X120'/55'X120'	14.11
UNIT 2	154	45'X110'	29.26
UNIT 3	182	45'X110'	28.22
UNIT 4	104	50'X120'/55'X120'	26.42
TOTAL	497		98.01
5.07 UNITS PER ACRE			

OWNER:
SPENCER R. & WILLIAM M. WEIDNER
10910 MEADOWHOME ST.
SAN ANTONIO, TEXAS 78232
PHONE: (210) 690-9543

DEVELOPER:
CENTEX HOMES
16414 SAN PEDRO, SUITE 700
SAN ANTONIO, TEXAS 78232
PHONE: (210) 496-1985

98.01 TOTAL ACRES
THIS MDP WAS PREPARED ON AUGUST 25th, 2003

REVISION:
10/17/2003 REVISED LOT AND PHASE LAYOUTS
12/17/2003 REVISED LOT AND PHASE LAYOUTS
01/07/2004 PARK NOTE

Denham-Ramones Engineering and Associates, Inc.
(210) 495-3100 Office
(210) 495-3122 Fax
13424 West Avenue
San Antonio, TX 78216

MASTER DEVELOPMENT PLAN
for
CULEBRA CREEK

JOB # 030037.00
DWG FILE:
DATE: 8/25/03
DESIGN:
DRAWN: L.M.R.
CHECKED: 8/25/03
SHEET 1 OF 1
9/10/2003 10:30:40 AM